

Tarrant Appraisal District

Property Information | PDF

Account Number: 00100110

Address: 2729 QUINN ST City: FORT WORTH

Georeference: 1300-2-22AB-C Subdivision: AVALON HEIGHTS Neighborhood Code: 1H040N **Latitude:** 32.722974333 **Longitude:** -97.2862085512

TAD Map: 2060-384 **MAPSCO:** TAR-078P





This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: AVALON HEIGHTS Block 2 Lot

22AB

Jurisdictions:

CITY OF FORT WORTH (026) TARRANT COUNTY (220)

TARRANT REGIONAL WATER DISTRICT (223)

TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)

FORT WORTH ISD (905)

State Code: A Year Built: 1939

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/15/2025

Site Number: 00100110

Site Name: AVALON HEIGHTS-2-22AB-C **Site Class:** A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 1,226
Percent Complete: 100%

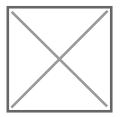
Land Sqft*: 6,500 Land Acres*: 0.1492

Pool: N

+++ Rounded

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



OWNER INFORMATION

Current Owner:

BORJON CHRISTOPHER DANIEL

Primary Owner Address:

2729 QUINN ST

FORT WORTH, TX 76105

Deed Date: 2/20/2019

Deed Volume:

Deed Page:

Instrument: D219033784

Previous Owners	Date	Instrument	Deed Volume	Deed Page
CONTRERAS RENEE DIANE	10/19/2006	D206352855	0000000	0000000
CASTILLO ROBERT R	11/1/2002	00161640000282	0016164	0000282
JIMENEZ BRUNO J	12/31/1900	00000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$0	\$0	\$0	\$0
2024	\$89,938	\$19,500	\$109,438	\$96,240
2023	\$87,925	\$19,500	\$107,425	\$87,491
2022	\$76,216	\$5,000	\$81,216	\$79,537
2021	\$67,306	\$5,000	\$72,306	\$72,306
2020	\$68,443	\$5,000	\$73,443	\$73,443

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.