



**Address:** [2729 QUINN ST](#)  
**City:** FORT WORTH  
**Georeference:** 1300-2-22AB-C  
**Subdivision:** AVALON HEIGHTS  
**Neighborhood Code:** 1H040N

**Latitude:** 32.722974333  
**Longitude:** -97.2862085512  
**TAD Map:** 2060-384  
**MAPSCO:** TAR-078P



This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** AVALON HEIGHTS Block 2 Lot 22AB

**Jurisdictions:**

- CITY OF FORT WORTH (026)
- TARRANT COUNTY (220)
- TARRANT REGIONAL WATER DISTRICT (223)
- TARRANT COUNTY HOSPITAL (224)
- TARRANT COUNTY COLLEGE (225)
- FORT WORTH ISD (905)

**State Code:** A

**Year Built:** 1939

**Personal Property Account:** N/A

**Agent:** None

**Protest Deadline Date:** 5/15/2025

**Site Number:** 00100110

**Site Name:** AVALON HEIGHTS-2-22AB-C

**Site Class:** A1 - Residential - Single Family

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 1,226

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 6,500

**Land Acres<sup>\*</sup>:** 0.1492

**Pool:** N

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



## OWNER INFORMATION

**Current Owner:**  
BORJON CHRISTOPHER DANIEL  
**Primary Owner Address:**  
2729 QUINN ST  
FORT WORTH, TX 76105

**Deed Date:** 2/20/2019  
**Deed Volume:**  
**Deed Page:**  
**Instrument:** [D219033784](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
CONTRERAS RENEE DIANE	10/19/2006	<a href="#">D206352855</a>	0000000	0000000
CASTILLO ROBERT R	11/1/2002	00161640000282	0016164	0000282
JIMENEZ BRUNO J	12/31/1900	00000000000000	0000000	0000000

## VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$0	\$0	\$0	\$0
2024	\$89,938	\$19,500	\$109,438	\$96,240
2023	\$87,925	\$19,500	\$107,425	\$87,491
2022	\$76,216	\$5,000	\$81,216	\$79,537
2021	\$67,306	\$5,000	\$72,306	\$72,306
2020	\$68,443	\$5,000	\$73,443	\$73,443

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

## EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.