

Property Information | PDF

Account Number: 01112511

Address: 6309 NORTH RIDGE RD

City: FORT WORTH
Georeference: 16280-1-N

Subdivision: GREENFIELD ACRES ADDITION-FW

Neighborhood Code: 2N040N

**Latitude:** 32.8312467591 **Longitude:** -97.4218596025

**TAD Map:** 2024-420 **MAPSCO:** TAR-046L





This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

Legal Description: GREENFIELD ACRES

ADDITION-FW Block 1 Lot N

Jurisdictions:

CITY OF FORT WORTH (026) TARRANT COUNTY (220)

TARRANT REGIONAL WATER DISTRICT (223)

TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
EAGLE MTN-SAGINAW ISD (918)

State Code: A Year Built: 2011

Personal Property Account: N/A

Agent: None

**Protest Deadline Date: 5/15/2025** 

**Site Number:** 01112511

Site Name: GREENFIELD ACRES ADDITION-FW-1-N

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size\*\*\*: 2,021
Percent Complete: 100%

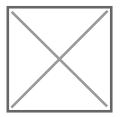
Land Sqft\*: 20,098 Land Acres\*: 0.4614

Pool: N

+++ Rounded

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<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



## **OWNER INFORMATION**

Current Owner:
RITH MOL
Primary Owner Address:
6309 N RIDGE RD

6309 N RIDGE RD
FORT WORTH, TX 76135-1347

Instrument: <u>D211047663</u>

| Previous Owners                     | Date       | Instrument     | Deed Volume | Deed Page |
|-------------------------------------|------------|----------------|-------------|-----------|
| WEST D WEST;WEST JANICE M           | 8/29/2003  | D208357885     | 0000000     | 0000000   |
| KAPPELER JANICE WEST;KAPPELER JOYCE | 5/22/2000  | D200108659     | 0000000     | 0000000   |
| JIRASEK JIMMIE;JIRASEK MARY EST     | 12/31/1900 | 00000000000000 | 0000000     | 0000000   |

Deed Date: 2/25/2011

**Deed Page: 0000000** 

Deed Volume: 0000000

## **VALUES**

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

| Year | Improvement Market | Land Market | Total Market | Total Appraised+ |
|------|--------------------|-------------|--------------|------------------|
| 2025 | \$0                | \$0         | \$0          | \$0              |
| 2024 | \$396,568          | \$60,296    | \$456,864    | \$344,924        |
| 2023 | \$387,378          | \$40,000    | \$427,378    | \$313,567        |
| 2022 | \$328,264          | \$40,000    | \$368,264    | \$285,061        |
| 2021 | \$291,950          | \$40,000    | \$331,950    | \$259,146        |
| 2020 | \$250,822          | \$40,000    | \$290,822    | \$235,587        |

Pending indicates that the property record has not yet been completed for the indicated tax year.

## **EXEMPTIONS / SPECIAL APPRAISAL**

HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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<sup>+</sup> Appraised value may be less than market value due to state-mandated limitations of value increases.