



**Address:** [6309 NORTH RIDGE RD](#)  
**City:** FORT WORTH  
**Georeference:** 16280-1-N  
**Subdivision:** GREENFIELD ACRES ADDITION-FW  
**Neighborhood Code:** 2N040N

**Latitude:** 32.8312467591  
**Longitude:** -97.4218596025  
**TAD Map:** 2024-420  
**MAPSCO:** TAR-046L



This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** GREENFIELD ACRES  
ADDITION-FW Block 1 Lot N

**Jurisdictions:**

- CITY OF FORT WORTH (026)
- TARRANT COUNTY (220)
- TARRANT REGIONAL WATER DISTRICT (223)
- TARRANT COUNTY HOSPITAL (224)
- TARRANT COUNTY COLLEGE (225)
- EAGLE MTN-SAGINAW ISD (918)

**State Code:** A

**Year Built:** 2011

**Personal Property Account:** N/A

**Agent:** None

**Protest Deadline Date:** 5/15/2025

**Site Number:** 0112511

**Site Name:** GREENFIELD ACRES ADDITION-FW-1-N

**Site Class:** A1 - Residential - Single Family

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 2,021

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 20,098

**Land Acres<sup>\*</sup>:** 0.4614

**Pool:** N

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



## OWNER INFORMATION

**Current Owner:**

RITH MOL

**Primary Owner Address:**

6309 N RIDGE RD  
FORT WORTH, TX 76135-1347

**Deed Date:** 2/25/2011

**Deed Volume:** 0000000

**Deed Page:** 0000000

**Instrument:** [D211047663](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
WEST D WEST;WEST JANICE M	8/29/2003	<a href="#">D208357885</a>	0000000	0000000
KAPPELER JANICE WEST;KAPPELER JOYCE	5/22/2000	<a href="#">D200108659</a>	0000000	0000000
JIRASEK JIMMIE;JIRASEK MARY EST	12/31/1900	00000000000000	0000000	0000000

## VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$0	\$0	\$0	\$0
2024	\$396,568	\$60,296	\$456,864	\$344,924
2023	\$387,378	\$40,000	\$427,378	\$313,567
2022	\$328,264	\$40,000	\$368,264	\$285,061
2021	\$291,950	\$40,000	\$331,950	\$259,146
2020	\$250,822	\$40,000	\$290,822	\$235,587

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

## EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.