



Address: [2104 DANNER ST](#)
City: FORT WORTH
Georeference: 19240-4-2
Subdivision: HOWARD, W R ADDITION
Neighborhood Code: 1H040N

Latitude: 32.7224052872
Longitude: -97.2516122568
TAD Map: 2072-384
MAPSCO: TAR-079N



This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: HOWARD, W R ADDITION Block
4 Lot 2

Jurisdictions:

- CITY OF FORT WORTH (026)
- TARRANT COUNTY (220)
- TARRANT REGIONAL WATER DISTRICT (223)
- TARRANT COUNTY HOSPITAL (224)
- TARRANT COUNTY COLLEGE (225)
- FORT WORTH ISD (905)

State Code: C1

Year Built: 0

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/15/2025

Site Number: 01363921

Site Name: HOWARD, W R ADDITION-4-2

Site Class: C1 - Residential - Vacant Land

Parcels: 1

Approximate Size⁺⁺⁺: 0

Percent Complete: 0%

Land Sqft^{*}: 8,750

Land Acres^{*}: 0.2008

Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



OWNER INFORMATION

Current Owner:
LJ HOME BUILDERS
Primary Owner Address:
7333 KUBAN BLVD
FORT WORTH, TX 76120

Deed Date: 10/4/2024
Deed Volume:
Deed Page:
Instrument: [D224178660](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
HOLLIDAY MARIE	11/15/2007	D207422589	0000000	0000000
TOLLIVER KATIE	8/19/1991	00103580002110	0010358	0002110
MCCLELLAN JANICE CAROL	11/17/1988	00094420000990	0009442	0000990
TELL SHERRY	8/13/1984	00079220000471	0007922	0000471
HARPER JESSE L	11/10/1983	00076640001428	0007664	0001428
HARPER RUBY FAYE	12/31/1900	00000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$0	\$0	\$0	\$0
2024	\$0	\$26,250	\$26,250	\$26,250
2023	\$0	\$26,250	\$26,250	\$26,250
2022	\$0	\$5,000	\$5,000	\$5,000
2021	\$0	\$5,000	\$5,000	\$5,000
2020	\$0	\$5,000	\$5,000	\$5,000

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL



There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.