

Property Information | PDF

Account Number: 02225670



Address: 3900 PATE DR City: FORT WORTH Georeference: 32630-2-11

Subdivision: PLEASANT GLADE ADDITION

Neighborhood Code: 1H040N

**Latitude:** 32.7057312545 **Longitude:** -97.2602819229

**TAD Map:** 2072-376 **MAPSCO:** TAR-078Z





This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

Legal Description: PLEASANT GLADE ADDITION

Block 2 Lot 11

Jurisdictions:

CITY OF FORT WORTH (026) TARRANT COUNTY (220)

TARRANT REGIONAL WATER DISTRICT (223)

TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)

FORT WORTH ISD (905)

State Code: A Year Built: 1956

Personal Property Account: N/A

Agent: None

**Protest Deadline Date: 5/15/2025** 

**Site Number:** 02225670

**Site Name:** PLEASANT GLADE ADDITION-2-11 **Site Class:** A1 - Residential - Single Family

Parcels: 1

Approximate Size +++: 1,062
Percent Complete: 100%

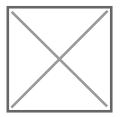
Land Sqft\*: 4,850 Land Acres\*: 0.1113

Pool: N

+++ Rounded

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<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



## **OWNER INFORMATION**

**Current Owner:** 

LEE CHARLES L
LEE FANNIE
Deed Volume: 0014161
Primary Owner Address:
Deed Page: 0000003

3900 PATE DR

FORT WORTH, TX 76119-3700

Instrument: 00141610000003

Previous Owners	Date	Instrument	Deed Volume	Deed Page
TYSON HARRY L;TYSON MARGARET TRS	11/10/1993	00113800001358	0011380	0001358
TYSON HARRY	12/31/1900	00000000000000	0000000	0000000

## **VALUES**

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$0	\$0	\$0	\$0
2024	\$83,039	\$14,550	\$97,589	\$54,704
2023	\$81,236	\$14,550	\$95,786	\$49,731
2022	\$71,379	\$5,000	\$76,379	\$45,210
2021	\$62,178	\$5,000	\$67,178	\$41,100
2020	\$55,155	\$5,000	\$60,155	\$37,364

Pending indicates that the property record has not yet been completed for the indicated tax year.

## **EXEMPTIONS / SPECIAL APPRAISAL**

HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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<sup>+</sup> Appraised value may be less than market value due to state-mandated limitations of value increases.