



Address: [6712 SILVER SAGE DR](#)
City: FORT WORTH
Georeference: 40689-4-5A
Subdivision: SUMMERFIELDS EAST ADDITION
Neighborhood Code: 3K2000

Latitude: 32.8619474714
Longitude: -97.2850301476
TAD Map: 2066-432
MAPSCO: TAR-036X



This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SUMMERFIELDS EAST
ADDITION Block 4 Lot 5A

Jurisdictions:

- CITY OF FORT WORTH (026)
- TARRANT COUNTY (220)
- TARRANT REGIONAL WATER DISTRICT (223)
- TARRANT COUNTY HOSPITAL (224)
- TARRANT COUNTY COLLEGE (225)
- KELLER ISD (907)

State Code: A

Year Built: 1987

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/15/2025

Site Number: 05119863

Site Name: SUMMERFIELDS EAST ADDITION-4-5A

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size⁺⁺⁺: 1,082

Percent Complete: 100%

Land Sqft^{*}: 4,483

Land Acres^{*}: 0.1029

Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



OWNER INFORMATION

Current Owner:

CLIFFORD CHARLES
CLIFFORD TASHA

Primary Owner Address:

6712 SILVER SAGE DR
FORT WORTH, TX 76137

Deed Date: 12/2/2020

Deed Volume:

Deed Page:

Instrument: [D220317796](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
PALMER WILLIAM	8/20/2020	D220208412		
DAVID ALAN MATHEWS TRUST	4/25/2020	D220096339		
MATHEWS DAVID ALAN	4/26/1996	00123570000893	0012357	0000893
MATHEWS DAVID ETAL	9/21/1987	00090830000729	0009083	0000729
T M MCKINNEY ENTERPRISES INC	7/16/1987	00090100002240	0009010	0002240
CAMBRIDGE CO INC	12/31/1900	00000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$0	\$0	\$0	\$0
2024	\$189,652	\$45,000	\$234,652	\$234,652
2023	\$193,102	\$45,000	\$238,102	\$217,557
2022	\$166,979	\$35,000	\$201,979	\$197,779
2021	\$144,799	\$35,000	\$179,799	\$179,799
2020	\$121,043	\$35,000	\$156,043	\$142,965

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL



- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.