



**Address:** [6025 TENDER FOOT TR](#)  
**City:** TARRANT COUNTY  
**Georeference:** 33465-3-19A  
**Subdivision:** RANCHOAKS ADDITION  
**Neighborhood Code:** 2Y100S

**Latitude:** 32.8517186149  
**Longitude:** -97.5215995702  
**TAD Map:** 1988-428  
**MAPSCO:** TAR-043D



This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** RANCHOAKS ADDITION Block 3  
Lot 19A 1995 OAKWOOD 15 X 76 LB# NTA0494183  
OAKWOOD

**Jurisdictions:**

- TARRANT COUNTY (220)
- EMERGENCY SVCS DIST #1 (222)
- TARRANT COUNTY HOSPITAL (224)
- TARRANT COUNTY COLLEGE (225)
- AZLE ISD (915)

**State Code:** A

**Year Built:** 1995

**Personal Property Account:** N/A

**Agent:** None

**Protest Deadline Date:** 5/15/2025

**Site Number:** 06012728

**Site Name:** RANCHOAKS ADDITION-3-19A

**Site Class:** A2 - Residential - Mobile Home

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 2,436

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 23,677

**Land Acres<sup>\*</sup>:** 0.5435

**Pool:** N

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



## OWNER INFORMATION

**Current Owner:**  
SNYDER GLENN

**Primary Owner Address:**  
6025 TENDERFOOT TRL  
FORT WORTH, TX 76135

**Deed Date:** 3/10/2016

**Deed Volume:**

**Deed Page:**

**Instrument:** [D216049774](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
SNYDER GLENN	3/10/2016	<a href="#">D216049774</a>		
SNYDER GLENN	3/10/2016	<a href="#">D216049774</a>		
LEATHERWOOD JAMES W	8/17/2011	<a href="#">D211201367</a>	0000000	0000000
LEATHERWOOD LAURA B	6/12/2002	00157610000223	0015761	0000223
LOCKHART EVA JEAN	1/6/1989	00098820002168	0009882	0002168
WHALEY HAROLD	8/6/1987	00090360002314	0009036	0002314
FLORIES B R	1/9/1987	00088110000771	0008811	0000771
RANCHOAKS JV	1/1/1986	00000000000000	0000000	0000000

## VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$0	\$0	\$0	\$0
2024	\$22,746	\$75,652	\$98,398	\$98,398
2023	\$23,604	\$75,652	\$99,256	\$99,256
2022	\$24,462	\$35,653	\$60,115	\$60,115
2021	\$25,320	\$35,653	\$60,973	\$60,973
2020	\$26,178	\$19,022	\$45,200	\$45,200

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.



## EXEMPTIONS / SPECIAL APPRAISAL

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There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.