

Account Number: 06012728

LOCATION

Address: 6025 TENDER FOOT TR

City: TARRANT COUNTY **Georeference:** 33465-3-19A

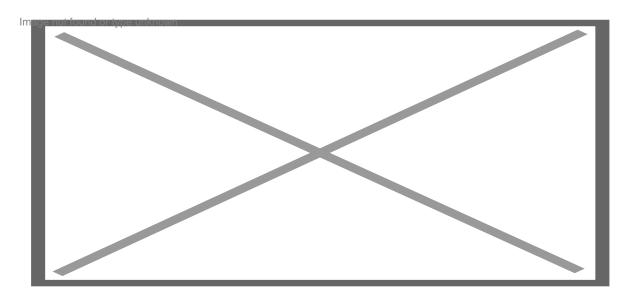
Subdivision: RANCHOAKS ADDITION

Neighborhood Code: 2Y100S

Latitude: 32.8517186149 **Longitude:** -97.5215995702

TAD Map: 1988-428 **MAPSCO:** TAR-043D





This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: RANCHOAKS ADDITION Block 3 Lot 19A 1995 OAKWOOD 15 X 76 LB# NTA0494183

OAKWOOD

Jurisdictions:

TARRANT COUNTY (220)
EMERGENCY SVCS DIST #1 (222)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
AZLE ISD (915)

State Code: A Year Built: 1995

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/15/2025

Site Number: 06012728

Site Name: RANCHOAKS ADDITION-3-19A Site Class: A2 - Residential - Mobile Home

Parcels: 1

Approximate Size+++: 2,436
Percent Complete: 100%
Land Sqft*: 23,677

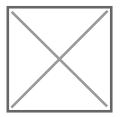
Land Acres*: 0.5435

Pool: N

+++ Rounded.

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



OWNER INFORMATION

Current Owner: Deed Date: 3/10/2016
SNYDER GLENN
Deed Date: 3/10/2016

Primary Owner Address:
6025 TENDERFOOT TRL

Deed Volume:
Deed Page:

FORT WORTH, TX 76135 Instrument: <u>D216049774</u>

Previous Owners	Date	Instrument	Deed Volume	Deed Page
SNYDER GLENN	3/10/2016	D216049774		
SNYDER GLENN	3/10/2016	D216049774		
LEATHERWOOD JAMES W	8/17/2011	D211201367	0000000	0000000
LEATHERWOOD LAURA B	6/12/2002	00157610000223	0015761	0000223
LOCKHART EVA JEAN	1/6/1989	00098820002168	0009882	0002168
WHALEY HAROLD	8/6/1987	00090360002314	0009036	0002314
FLORIES B R	1/9/1987	00088110000771	0008811	0000771
RANCHOAKS JV	1/1/1986	00000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. <u>Tarrant County Tax Office Account Information</u>.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$0	\$0	\$0	\$0
2024	\$22,746	\$75,652	\$98,398	\$98,398
2023	\$23,604	\$75,652	\$99,256	\$99,256
2022	\$24,462	\$35,653	\$60,115	\$60,115
2021	\$25,320	\$35,653	\$60,973	\$60,973
2020	\$26,178	\$19,022	\$45,200	\$45,200

Pending indicates that the property record has not yet been completed for the indicated tax year.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.



EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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